



## BEARSPAW COUNTRY ESTATES

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ARCHITECTURAL DESIGN GUIDELINES

NOVEMBER 2014 (as amended)



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# 1. INTRODUCTION

## 1.1 Location

Bearspaw Country Estates is located off Lochend Road in Rocky View County just minutes Northwest of Calgary. The setting is a beautiful country residential community with dramatic views gradually sloping toward the mountains. It is conveniently close to Calgary (8 km from the City limits), yet far enough away from the noise and pace of a big city.

## 1.2 Intent and Theme

These guidelines are written for participating architects, designers and builders who are interested in building and/or renovating a home in Bearspaw Country Estates. The intent of these guidelines is to create a community of harmony and continuity while maintaining a number of architectural styles to offer variety and flavour. These architectural styles include French Country, Tudor, Ranch and Craftsman as described in these guidelines.



French Country



Tudor



Ranch



Craftsman

## 1.3 Conflicts with Rocky View By-laws

To the extent the Rocky View County or other relevant authority requires a stricter standard than set out herein, that standard must be followed. Otherwise, to the extent these architectural guidelines impose a stricter standard, they shall be paramount over those set by the Rocky View County.

## 1.4 Application Process

### 1.4.1 OVERVIEW

The Bearspaw Country Estates Homeowners Association (the **HOA**) has adopted these architectural guidelines pursuant to the restrictive covenant registered on all the lots in Bearspaw Country Estates. The architectural guidelines apply to all new construction and to renovation of existing homes. The HOA has hired IBI Group (**IBI Group**) to administer these architectural guidelines. Builders are required to submit their plans to IBI Group for review before submitting to the Rocky View County for approval to build. Depending upon the scope of a renovation, builders/owners may also be required to submit plans to IBI Group for review. Builders/owners planning to renovate should first contact the HOA at [communications@bearspawcountryestates.com](mailto:communications@bearspawcountryestates.com) for instructions.



#### 1.4.2 PRELIMINARY REVIEW

To achieve the desired look in BearsPaw Country Estates, designers are strongly encouraged to submit preliminary renderings or sketches of home plans and elevations or renovations, as applicable, to IBI Group for review to ensure that they are on the right track. IBI Group will assist designers with notes and sketches if required and return the plans stamped "reviewed". This submission may be made via courier or email.

#### 1.4.3 FORMAL APPLICATION SUBMISSION

Builders will have to submit their plans to IBI Group for architectural approval and compliance with these architectural guidelines before they will be able to apply to the Rocky View County for approval. IBI Group will require the following:

- Plot Plan (1:200 scale)
- Construction Drawings (1/4"=1'; 3/16"=1'; 1:50) (including for renovation projects)
- Completed Architectural Form (attached)
- Fees and deposit as set out in section 1.4.5
- Depending upon the scale of the renovation, the HOA may require a fee for review by IBI Group. Please contact the HOA at [communications@bears pawcountryestates.com](mailto:communications@bears pawcountryestates.com) for instructions.

##### 1.4.3.1 Online Applications

With the newly designed archcontrol.com website, builders can submit applications online using PDF files. This process eliminates printing and courier costs, as well as cuts down on return time. Please contact IBI Group for information and application instructions for this preferred application process.



##### 1.4.3.2 Hard Copy Applications

If builders are not able to submit online, they can still submit 2 complete hard copies as noted above.

#### 1.4.4 TURN AROUND

IBI Group will return plans within 5 working days of receipt. Once final "Approved" stamp is issued on all plans, the builder may proceed toward a building permit.

#### 1.4.5 FEES AND DEPOSIT

Upon submitting an application under section 1.4.3, builders shall be required to pay to the HOA the following:

- The sum of \$2,000, as an application fee to cover the costs associated with the architectural approval
- The sum of \$25,000 (the **Compliance Deposit**), to be held in trust by the HOA pending final inspection by IBI Group and confirmation the architectural guidelines have been met



- Any past due HOA dues and related charges and costs that are payable by the owner of the lot

## 1.5 Site/Final Inspections

### 1.5.1 SITE TOURS

IBI Group will conduct a site tour at the framing stage, or as otherwise requested by the HOA, to evaluate the progress of the development and construction and identify any potential issues with compliance with these architectural guidelines or the approved plans.

### 1.5.2 FINAL INSPECTIONS

IBI Group will conduct a final inspection to ensure that the given home complies with these architectural guidelines. Should all of the design conditions be met, the homeowner and builder will receive written notification of compliance. Deficiencies, if any, will be noted and will have to be corrected before notification of compliance is provided. Upon receipt of the notification of compliance, the builder or owner may apply to the HOA for return of the Compliance Deposit. The Compliance Deposit will be returned to the builder or owner, as applicable, less any amount required to repair any damage done to surrounding property by the builder, its sub-contractors or agents, including any damage to boulevards, landscaped areas and trees or grading and drainage swales. If deficiencies remain outstanding or damage has not been repaired, the Compliance Deposit will be forfeited to the HOA in whole or in part as partial or full compensation for any default by the lot owner to comply with these architectural guidelines or to repair any damage, as applicable. The Compliance Deposit may be used, in whole or in part, by the HOA to effect remediation of the deficiencies or to repair any damage, as applicable.

## 2. GENERAL REQUIREMENTS

### 2.1 Site

#### 2.1.1 SETBACKS

The intent is to create depth amongst the homes by utilizing various setbacks. It will also be desirable to maintain strong view lines by positioning homes in a manner that they do not block the view of others. Upon receipt of a site plan by IBI Group, IBI Group will require the location to be staked and will contact the HOA for a site review. The site review by the HOA must be completed prior to excavation and any proposed changes, if needed, will be communicated to the builder. Listed below are the current minimums as stated by the Rocky View Land Use Bylaw. IBI Group may change the setback requirements if IBI Group sees fit.

##### 2.1.1.1 Front Yard Setbacks

- All lots require a 15.0 m (49.2 feet) front yard setback

##### 2.1.1.2 Side Yard Setbacks

- Corner lots require a 15.0m (49.2 feet) side yard setback on the street side
- All other lots require a 6.0 m (19.7 feet) side yard setback



### 2.1.1.3 Rear Yard Setbacks

- All lots backing onto Lochend Road require a 30.0 m (98.4 feet) rear yard setback
- All other lots require a 15.0 m (49.2 feet) rear yard setback

## 2.1.2 HOUSE WIDTH

The large lots will allow builders to develop very elaborate home designs. In order to ensure no single home is overshadowed by larger designs, there will be minimum house widths set.

### 2.1.2.1 Bungalow (single storey)

- Minimum of 15.5 m (50.85 feet) wide, including garage  
Note: Garage may not make up more than 40% of the front elevation

### 2.1.2.2 Two Storey

- Minimum of 14 m (45.93 feet) wide  
Note: Garage may not make up more than 40% of the front elevation

## 2.1.3 BUILDING HEIGHT

- Principal buildings shall not exceed 10 m (32.8 feet) in height, or such maximum as permitted by the Rocky View County
- The tallest continuous building face of any elevation on the principal building must not exceed 6.7 metres (22 feet) in height, excluding eaves and the pitched roof portion of either gable ends or dormers. Elevations over 6.7 metres (22 feet) should have the upper floor stepped back, and roof lines should be added to break up the massing of the principal building.
- Accessory buildings shall not exceed 7 m (23 feet) in height, or such maximum as permitted by the Rocky View County

## 2.1.4 BUILDINGS ON HOMESITE

- Maximum of one dwelling per lot
- Maximum of 1 accessory buildings (see section 2.1.8)

## 2.1.5 MINIMUM HABITABLE FLOOR AREA, EXCLUDING BASEMENTS

### 2.1.5.1 Two Storey Homes & Split Level Homes

Box on box construction will not be permitted. Designs are required to have depth and a variety of rooflines. In order to achieve this, designers are asked to limit the square footage on upper storeys.

- Minimum 241 m<sup>2</sup> (2,600 ft<sup>2</sup>). The upper floor area of the principal building cannot exceed 45% of the ground floor area of the principal building, i.e., if the main floor is 186m<sup>2</sup> (2,000 ft<sup>2</sup>), the upper floor cannot exceed 83.7 m<sup>2</sup> (900 ft<sup>2</sup>). Relaxations may be permitted at the discretion of IBI Group for living areas built entirely into the roof form.



- Garages with an upper floor, whether attached or detached, must also not exceed 45% of the ground floor area and will be calculated separately.
- Any upper floor area that is open to below but still has full height walls will count as upper floor square footage.
- Fully covered architecturally detailed porches/decks may be included in the calculation of square footage, subject to the position of the principal building on the site and the impact on the surrounding properties.
- Three-storey uninterrupted vertical elevations will not be permitted.

**2.1.5.2 Single Storey**

- Minimum 186 m<sup>2</sup> (2000 ft<sup>2</sup>)

**2.1.6 GARAGES**

- Garage locations should be considered carefully. Designers are encouraged to create unique garage options and layouts
- A triple attached garage is the minimum allowable design

**2.1.7 DRIVEWAYS**

- Rather than long, straight driveways; designers have many options including meandering lanes, roundabouts, etc.
- Driveway designs are to be included on the plot plan and must show material locations and a rough landscaping concept
- Driveways are to be black asphalt or approved concrete alternative
- Courtyard areas must be more detailed using materials such as exposed aggregate, stamped concrete, brick pavers, or approved alternate
- Borders and inserts are encouraged
- Desirable driveway slopes are between 3% and 7%
- Maximum driveway slope is 10%; minimum is 2%



**2.1.8 ACCESSORY BUILDINGS**

- Maximum number of accessory buildings – 1
- Total building area for all accessory buildings:
  - R-1 land use designation – 120 m<sup>2</sup> (1292 ft<sup>2</sup>), or such maximum as permitted by the Rocky View County
  - R-2 land use designation – 225 m<sup>2</sup> (2422 ft<sup>2</sup>)





- Max height – 7 m (23 feet), or such maximum permitted by the Rocky View County
- Must be submitted to IBI Group for architectural approval
- Must compliment the overall architectural theme of the home

## 2.2 Style

### 2.2.1 HOUSE TYPES

- Two storey (no box on box)
- Bungalow
- Split level
- No log homes permitted

### 2.2.2 APPROVED ARCHITECTURAL STYLES

Several architectural styles will be appropriate at Bearspaw Country Estates. Designs should be custom interpretations of the approved architectural styles.

- French Country – typically two story, single or multiple hipped roof elements; brick, stone or stucco used in combination on the façade; round towers are found on some examples; dormers of multiple types often penetrate the roof.
- Tudor – typically two story with steeply pitched gables; large stone or brick chimney, tall narrow windows arranged in pairs or ribbons; brick facades on the lower story with decorative half-timbering against stucco surfaces on the upper story.
- Ranch – typically single story, however variations include split-level and split-foyer designs; roofs tend to be low pitched, side gable or hipped; large picture windows are common and decorative elements included shutters and porch roof supports.
- Craftsman – single or one-and-a-half story, low-slung intersecting gable roofs with wide overhangs and exposed rafters; wide porches with tapered or paired square columns; extensive use of stone, brick and wood both inside and out.

### 2.2.3 REPETITION

- A similar plan may be used but must have a different elevation to be used more than once on a given street
- Colour Schemes may not be repeated within 3 homes on either side of the street
- Homes of the same architectural style should be separated by at least 1 home of different architectural style
- IBI Group may use its discretion with regard to repetition occurrences



## 2.2.4 WALL MATERIALS

### 2.2.4.1 Siding

- Composite wood siding (i.e. James Hardie, Smartboard, etc)
- Wood will be acceptable for trim details

### 2.2.4.2 Stucco

- Smooth finish cement stucco- earth tones (greens, greys, browns, taupe), no pines or blues
- Acrylic stucco

### 2.2.4.3 Masonry

- Brick
- Cultured or real stone
- Stonetile

## 2.2.5 ROOF MATERIALS

- Copper
- Wood Shakes
- Rubber (slate or cedar profile)
- Concrete tile (slate or cedar profile)
- Premium Asphalt (IKO Grandeur, Chateau, or approved alternative)
- Coloured metal roofing tiles or standing seam metal roofing

### 2.2.5.1 Roof Hardware

All roof hardware (vents, stacks, flashing, etc.) must be painted to match or compliment the colour of the roofing material.

## 2.2.6 ENTRY

- Must follow design guidelines for chosen architectural style
- Must be a strong architectural feature
- Should face the main community road



## 2.2.7 CHIMNEYS

Chimneys are a very important feature on most of the approved architectural styles and must be incorporated into the design of the home.



- Chimneys are required on all homes
- If on exterior wall must be boxed to ground, if possible
- To be finished according to architectural style
- Chimney caps are required on all chimneys (materials include metal, clay, masonry)
- Must be boxed out to a min. cross sectional area of 12 ft<sup>2</sup>
- Visible cantilevers are not permitted, chimneys must return to grade, or have proper support details such as brackets



**2.2.8 DOORS**

- Subject to the architectural approved theme
- Front entry doors are to be specific to each house style
- Single or double front entry doors are allowed, but are subject to approval
- Entry doors should have glazing and/or sidelights and/or transom windows
- Sliding doors should not face the street
- All other doors away from the street may be wood, steel, or approved alternate



**2.2.8.1 Garage Doors**

- Must be a traditional style “carriage” door with vertically proportioned panels and glazing
- Are not to exceed 2.44m (8 feet) in height and 6.1m (20 feet) in width unless approved by IBI Group



**2.2.8.2 Screen Doors**

- Should maintain the quality and detailing of the door they are paired with



**2.2.9 COLUMNS**

Columns will be required on all porches, stoops (depending on design) and entries. The design will have to incorporate the right column design with the right architectural style.

- Minimum of 0.3m x 0.3m (12” x 12”) in size
- Materials are to compliment the overall design of the home
- Caps and bases should be used and are subject to approval

**2.2.10 RAILINGS**

Rails will be required as per the Alberta Building Code. Front porches should have a railing in a style to match the architectural theme. Acceptable railing materials include (depending on architectural style):

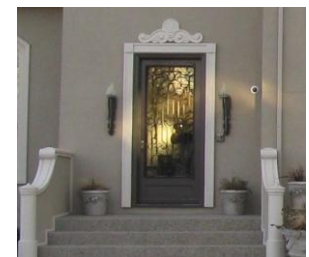
- Wood
- Metal railing
- Metal and glass



**2.2.11 TRIM AND SOFFITS**

Trim and soffit details can make a world of difference on a home. Window trim, if done properly, can make any window look rich and elegant. Cornices and half timbering can bring an elevation to life when used in accordance with the architectural style. Designers are asked to put a great deal of effort into the trim detailing on each design.

- Trim material shall be wood or Smartboard or approved equal only and is required on all openings
- All fascias on open gables must be Smartboard or wood. Fascias that will be covered with eavestrough may be prefinished metal
- Shadow boards or cornices must be used in all open gable ends where the wall meets the soffit, and are encouraged on exposed elevations
- Trim details should be a minimum of 4"
- Corner boards should be as wide as or wider than the siding exposure dimension (min 4", max 10")
- Raised stucco detailing may be permitted if the design is a decorative extruded profile; simple flat details will not be permitted
- Trim must extend out from the wall material from which it is designed. When Smartboard trim is used on a stone wall, the trim must be built out at least 1/2" higher than the stone
- Dentil block details may only be used as a part of a cornice detail
- Rainware must be limited on exposed elevations, and must be painted to match the fascia
- Downspouts should take place on side and rear elevations of homes only





**2.2.12 FENESTRATION**

Window layouts are key to achieve a chosen design style. Windows should be positioned in good proportion and relationship to one another on an elevation. If fenestration is not set up properly, walls can look scattered and unorganized.

- Must be vertically proportioned
- Casement, double-hung, and single-hung are appropriate window types and may be incorporated with non-functional windows to create more elaborate window designs
- Feature windows such as octagonal, round, elliptical, or gothic may be used only once on an elevation and must compliment the architectural style chosen
- Front window should not have a sill more than 3’ off of the floor where it is located, not including kitchen windows, some feature windows and gables
- Windows will have to be decorated and/or trimmed to suit the architectural style, e.g. – including, but not limited to Muntin bars.



**2.2.13 LIGHTING**

In addition to the requirements under Section 27.1 of the Rocky View County 2013 – 2014 Land Use Bylaw C-4841-97. The rural environment of Bearspaw Country Estates calls for outdoor lighting that is soft, subtle and glare-free. It is imperative that all lighting should cause low visual impact to both the street and neighbouring properties. Subtle garden and landscaping lighting is encouraged.

**2.2.14 FENCING**

Fencing at or along property lines may be installed in the style noted below, however, privacy can be achieved with careful use of planting.

- Masonry, wood or wrought iron fencing, tastefully designed, is only allowed for the first 5 metres (16 feet) of the property line on either side of the driveway entrance. Planting and tasteful, subtle lighting is encouraged.
- Only the following perimeter style fencing will be allowed:

- 3 rail wooden farm fence
- Natural stain colours only



- Chain link fencing is not permitted, except black chain link fencing and hardware may only be used for enclosed dog runs or sport/tennis courts. A dog run enclosure must be immediately adjacent to a building and to the extent possible one side of the dog run enclosure should be the wall of a building and be oriented to the rear of the lot. No dog enclosure or portion thereof shall be located within 9.1 meters (30 feet) of the property line



of any lot. A dog run enclosure may not exceed a maximum area of 28 square metres (300 square feet).

- Post-and-rail type wood privacy fencing will only be permitted if:
  - it is immediately attached to a building
  - it does not exceed 1.5 metres (5 feet) in height
  - it is tasteful and compliments the overall architectural theme of the home
  - does not exceed a maximum area of 28 square metres (300 square feet)
- Spas and hot tubs and their enclosures must be carefully integrated into the overall design of the home.

## 2.3 Construction Regulations

### 2.3.1 MATERIAL AND EQUIPMENT STORAGE

- Builders will be allowed to store their materials and equipment on site during construction but may not store on any other home sites
- Items stored will have to be stored in an organized and covered manor to ensure site cleanliness
- Builders must ensure that they do not trespass or disturb any other properties

### 2.3.2 SANITARY UNITS

- Temporary sanitary services are to be provided on site by each builder for their construction crews to use in compliance with the Public Health Act of Alberta

### 2.3.3 USE OF SITE

- Construct debris and waste must be contained on site each day and removed when full and at the end of the project
- Debris may not be burned, dumped, or buried anywhere on site at any time
- Excessive mud and/or debris tracked onto the public roadways must be cleaned or removed daily
- Site damage (curbs, site furniture, sidewalks, roadways, vegetation) will be the fixed by the responsible builder
- Changing oil on any equipment or vehicles is not permitted on site during construction
- Should a site not be maintained as these guidelines document, the HOA reserves the right to rectify any deficiencies at the cost of the responsible builder

### 2.3.4 VEHICLES AND PARKING

- Builders must limit the amount of vehicle tread on home sites
- Utility trailers, etc. may be parked on site for the time of construction only, at the risk of the builder



### 2.3.5 OTHER NOTES

- Alcohol is prohibited at all times on site
- Erosion control will be the responsibility of the builder during construction
- Builders are to ensure that sites are not accessed, except via the provided entries

### DISCLAIMER

No approval by the HOA or IBI Group or its other consultants shall constitute compliance with any engineering requirements or any legal requirements of Rocky View County or any other government agency or body, all of which are the sole responsibility of the builder or owner. The HOA and IBI Group are not responsible for ensuring that the builder's house plans comply with copyright laws etc.

The approval process described in these architectural guidelines is provided as a service by the HOA. While care is taken to provide precise data, the HOA and IBI Group and other consultants assume no responsibility for the accuracy of the information given in these or other documents, or for any losses or damages resulting from the use thereof. It remains the responsibility of the builder and owner to ensure that the construction or renovation of any buildings on the lot affecting title to the lot, without limitation, utility rights-of-way, easements and restrictive covenants.